

FOR INSPECTIONS CALL: _____	GENERAL BUILDING PERMIT APPLICATION GENERAL ENGINEERING COMPANY P.O. BOX 340 PORTAGE, WI 53901 OFFICE: (608) 745-4070	PERMIT # _____
Parcel Number: _____	<input type="checkbox"/> Town of <input type="checkbox"/> Village of <input type="checkbox"/> City of <input type="checkbox"/> County of <input type="checkbox"/> State Inspection Agency # _____	EXPIRATION DATE: _____

PROJECT DESCRIPTION (Submit Building Plans & Site Plan)	Does this project require any additional approvals or permits? <input type="checkbox"/> yes <input type="checkbox"/> no
--	---

Building Address: _____	Responsible Party Email Address: _____	Finished Project Value \$ _____
Zoning District(s): _____	Zoning Permit No.: _____	Corner Lot <input type="checkbox"/> yes <input type="checkbox"/> no
	Bldg. Height _____ Ft.	Setbacks: Front _____ Rear _____ Left _____ Right _____

Owner's Name _____	Mailing Address _____	Telephone _____
		Fax _____
Construction Contractor's Name _____	WI Lic. No. _____	Mailing Address _____
		Telephone _____
		Fax _____
Dwelling Contractor Qualifier _____	WI Lic. No. _____	The Dwelling Contr. Qualifier shall be an owner, CEO, COB or employee of the Dwelling Contr.
		Telephone _____
		Fax _____
HVAC _____	WI Lic. No. _____	Mailing Address _____
		Telephone _____
		Fax _____
Electrical _____	WI Lic. No. _____	Mailing Address _____
		Telephone _____
		Fax _____
Plumbing _____	WI Lic. No. _____	Mailing Address _____
		Telephone _____
		Fax _____

RESIDENTIAL Single Family/Duplex	Addition: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft. <input type="checkbox"/> Erosion Control
	Detached Accessory Building: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft.
	Remodel: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft.
	Other: <input type="checkbox"/> Fence <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft. <input type="checkbox"/> Erosion Control <input type="checkbox"/> Electrical Service Upgrade (Amp _____) <input type="checkbox"/> Removal of Structure (Raze)

COMMERCIAL	New Commercial Building: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction <input type="checkbox"/> Erosion Control
	Commercial Addition/Alteration: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction <input type="checkbox"/> Erosion Control _____ Building Sq. Ft. <input type="checkbox"/> Fence <input type="checkbox"/> Sign <input type="checkbox"/> Removal of Structure (Raze)
	State of Wisconsin Plan Approval Needed: <input type="checkbox"/> yes <input type="checkbox"/> no (Approved plans must be submitted with permit application)

Zoning – When applicable, must obtain a copy of setback information regarding height, lot coverage, etc.

I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If I am an owner applying for an erosion control or construction permit, I have read the cautionary statement regarding contractor financial responsibility on the reverse side of the last ply of this application. I expressly grant the building inspector or the inspector's authorized agent permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done. **It is the Owner/Contractors Responsibility to Call in ALL INSPECTIONS to the Inspector.**

APPLICANT'S SIGNATURE _____ **DATE SIGNED** _____

APPROVAL CONDITIONS This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. See attached for conditions of approval.

FEES:	PERMIT(S) ISSUED	PERMIT ISSUED BY:
Construction \$ _____	<input type="checkbox"/> Construction	Name _____
Plumbing \$ _____	<input type="checkbox"/> HVAC	Date _____ Telephone _____
Electrical \$ _____	<input type="checkbox"/> Electrical	Cert No. _____
HVAC \$ _____	<input type="checkbox"/> Plumbing	
Zoning \$ _____	<input type="checkbox"/> Erosion Control	
Other \$ _____	<input type="checkbox"/> Other _____	
Administrative \$ _____		
Total Permit Fee \$ _____		

Dear Permit Applicant,

Welcome to our inspection program, we look forward to the opportunity to work with you and/or your contractors. Hopefully the large majority of inspection questions can be answered by reading through the enclosed information.

The Building Inspector, Jeremy Phillis, is available by cell phone at 608-697-7807 or our central office number at 608-745-4070.

Inspection questions or emails to individual inspectors can be routed through Brenda Fassett at our Portage Office.

bfassett@generalengineering.net

City of Elroy
BUILDING INSPECTION FEE SCHEDULE
 January 1, 2025 – December 31, 2026

COMMERCIAL BUILDING PERMITS & PLAN REVIEW	GEC FEES		TOTAL FEES W/10%	
26) Commercial Early Start – Footings & Foundation Only	\$400.00		\$440.00	
27) Commercial Early Start - Plumbing & Electric	\$150.00 (in addition to Footings & Foundation Fee)		\$165.00 (in addition to Footings & Foundation Fee)	
28) Plan Review (For Buildings & Systems not subject to <u>formal plan review</u> per Table SPS 361.30-1) 1. New Commercial Building or Structure 2. Alterations of Commercial Building or Structure (Including Minor Alterations) 3. Addition of Commercial Building or Structure	\$125.00		\$138.00	
29) Commercial New Construction & Additions: Multi-Family (3 family or more), Restaurants, Motels, Offices, CBRF, Taverns, Mercantile, Assembly Halls, Manufacturing and Industrial, Schools, Hospitals, Institutional, and Vehicle Repair and Storage, etc.	Construction	\$0.18 per sq. ft. (Min. Fee \$250.00)	Construction	\$0.20 per sq. ft.
	Electrical	\$0.08 per sq. ft.	Electrical	\$0.09 per sq. ft.
	Plumbing	\$0.08 per sq. ft.	Plumbing	\$0.09 per sq. ft.
	HVAC	\$0.07 per sq. ft.	HVAC	\$0.08 per sq. ft.
	Fire Sprinkler	\$0.05 per sq. ft. (Min. Fee \$300.00)	Fire Sprinkler	\$0.06 per sq. ft. (Min Fee \$330.00)
	Fire Alarm	\$0.05 per sq. ft. (Min. Fee \$300.00)	Fire Alarm	\$0.06 per sq. ft. (Min. Fee \$330.00)
30) Commercial Plumbing Site Work- Sewer Lateral, Storm Sewer	\$0.20 per linear foot		\$0.22 per linear foot	
31) Commercial Fire Protection Site Work	\$0.20 per linear foot		\$0.22 per linear foot	
32) Minimum Commercial Plumbing	\$150.00		\$165.00	
33) Minimum Commercial HVAC Fee	\$150.00		\$165.00	
34) Minimum Commercial Electrical Fee	\$200.00		\$220.00	
35) Commercial Occupancy	\$150.00 per Occupancy		\$165.00 per Occupancy	
36) Commercial Remodel	\$0.12 per sq. ft. (Min. Fee \$250.00) + Mechanical Costs		\$0.13 per sq. ft. (Min. Fee \$275.00) +Mechanical Costs	
37) New Commercial Construction, Additions or Remodel for Storage Buildings or Shell Buildings	\$0.10 per sq. ft. (Min. Fee \$250.00) + Mechanical Costs		\$0.11 per sq. ft. (Min. Fee \$275.00) +Mechanical Costs	
38) Commercial Erosion Control	\$250.00 for the first acre & \$75.00 per acre thereafter		\$275.00 for the first acre & \$83.00 per acre thereafter	
39) Signs a. Wall Signs b. Free Standing	\$55.00 \$83.00		\$61.00 \$91.00	
40) Commercial Raze/Demo a. Building or Structure (Includes Erosion Control) b. Interior Demolition (not to effect egress, structural items or bathrooms)	\$150.00 per Building \$150.00 per Area		\$165.00 per Building \$165.00 per Area	
41) Commercial Solar PV Systems Installation				
System Rating: AC: 0.1kW - 25kW	\$450.00		\$495.00	
System Rating: AC: 25.1kW - 50kW	\$450.00 plus \$15.00/kW over 25kW		\$495.00 plus \$16.50/kW over 25kW	
System Rating: AC: 50.1kW - 100kW	\$825.00 plus \$10.00/kW over 50kW		\$908.00 plus \$11.00/kW over 50kW	
System Rating: AC: 100.1kW - 200kW	\$1,325.00 plus \$7.00/kW over 100kW		\$1,458.00 plus \$7.70/kW over 100kW	
System Rating: AC: 200.1kW - 1MW	\$2,025.00 plus \$2.00/kW over 200kW		\$2,228.00 plus \$2.20/kW over 200kW	
System Rating: AC: Over 1MW	\$3,625.00 plus \$25.00/MW over 1MW		\$3,988.00 plus \$27.50/MW over 1MW	

All work started without first obtaining a building permit will be subject to double the inspection fees

Zoning Administrator: Lynn Thorson (608) 462-2400
Building Inspector: Jeremy Phillis (608) 697-7807

Date Received (City) _____
Date Received (Inspector) _____

CITY OF ELROY
PERMIT/FEE CHECKLIST

Name: _____ Phone: (H) _____ (W) _____

Mailing Address: _____

Site Address: _____

Contractor Name: _____ Phone: (H) _____ (W) _____

Mailing Address: _____

____ Completed and signed building permit application (SBD5823)

____ Completed Utility Application for Service

- Water Lateral Application
- Electric Estimate and Electric Service Application
- Sewer Service Application

____ Completed Excavation Permit (if needed)

____ Completed Sign Permit for Commercial Buildings (if needed)

____ Completed and paid permit and Utility Fee Schedule

____ Completed energy worksheet (SBD5118)

____ Two (2) complete sets of plans

- Site plan
- Erosion Control plan
- Foundation plan
- Floor plans
- Elevations
- Wall of building section
- Details of any specialized construction (if any)

____ Erosion Control Plan

____ Wiring Affidavit/Statement

Licensing and Certification

Wisconsin Statutes requires contractors to be state-certified to obtain permits for Uniform Dwelling Code construction. Proof of State certification is required prior to issuance of a permit. Owners performing their own work are not required to be certified. However, if the owner hires a contractor that is not certified to perform work the owner may be held liable for injuries or loss that may be caused by the contractor in connection with work performed under the permit. A Wisconsin Master Plumbers License is required to obtain a plumbing permit.

Issuance of Building Permit

After your plan and applications have been accepted, the plan will be reviewed for compliance with the code. The code allows the inspector up to 10 working days to review and take action on the plans. Incomplete submittals or additional required information will extend this time. When permits are issued, you will receive a permit card for posting on the site and a list of Conditions of Approval.

Right of Way

Applicants for service shall furnish right-of-way easements and permits with clearing rights, without cost to the utility and adequate for electrical, water and sewer extensions necessary to serve them along a route approved by the utility.

WHEN DO I NEED A BUILDING PERMIT?

When your project involves:

- An addition or structural changes to exterior or interior of your home or any accessory structure.
- Any type of electrical, heating or plumbing work that is not considered maintenance; examples of maintenance could be changing: a faucet; electrical device (switch, light); furnace, or water heater if same size.
- Putting up a fence.
- Building a new house, garage, storage shed, pool, porch or deck
- Finishing or remodeling a basement, or rooms
- Remodeling a bathroom or kitchen if you have any structural or mechanicals (plumbing, electrical, Heating /Ventilation/Air-Conditioning (HVAC)
- Installation of a wood stoves and fireplaces
- Hot tub or whirlpools

This is **not a total list** if in doubt please call the inspector!!!!!!!!!!!!!!!

IN SOME COMMUNITIES A BUILDING PERMIT IS NOT REQUIRED FOR:

- Replacement of same size door and windows
- Replacement of roofing shingles or siding
- Installing storm windows
- Making minor repairs
- Changing flooring, carpet, or inlaid wood or tile
- Installing private sidewalks on your property

CHECK WITH THE INSPECTOR IN YOUR COMMUNITY

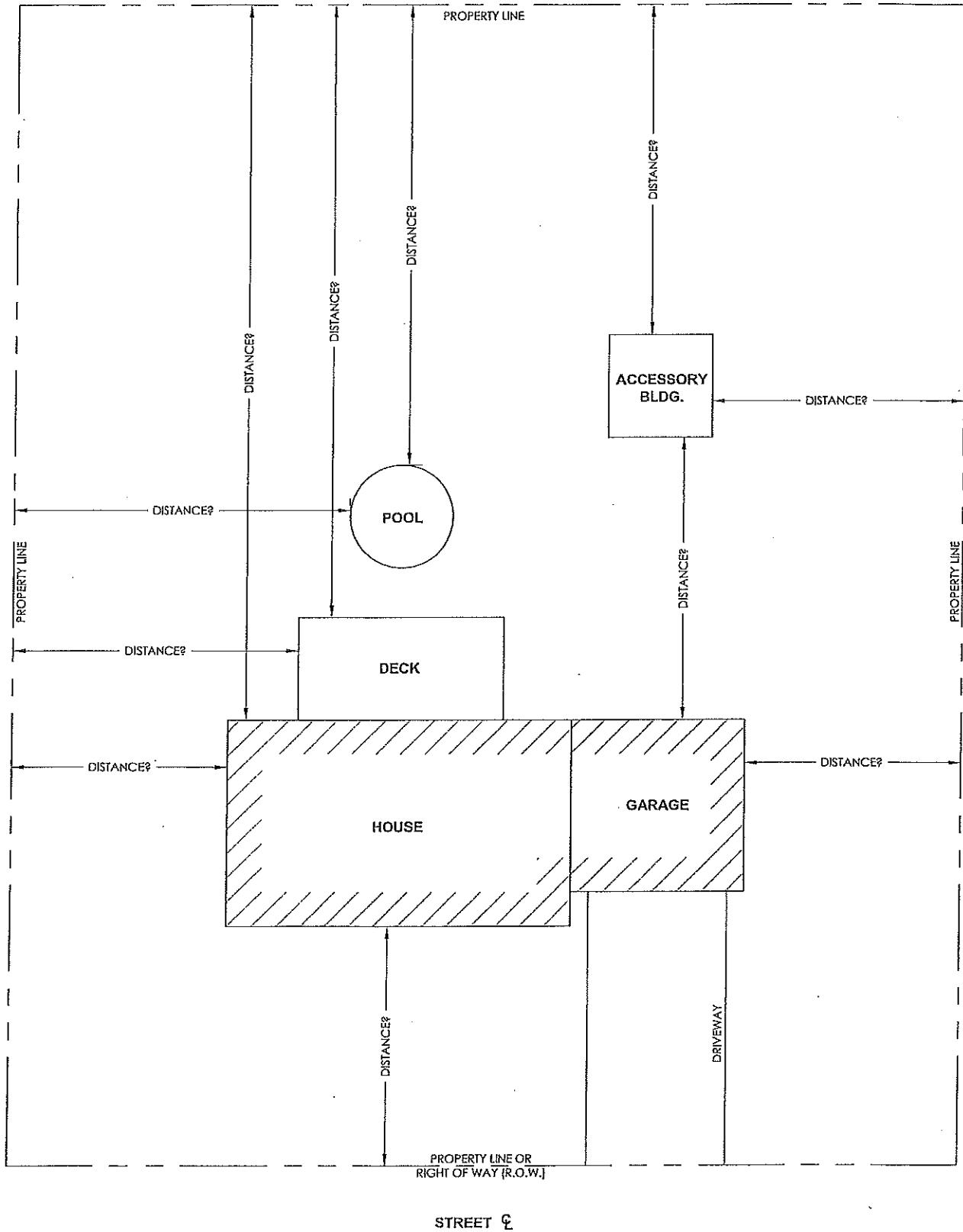
WHAT IF I DO NOT GET A PERMIT?

Ordinances and State Statutes require building permits. If you **do not** get a building permit when required the fees can be legally doubled, a stop work order will be posted and you could be fined for every day the work is not in compliance. If you are not sure whether your project requires a building permit, please contact the inspector on duty.

* PLEASE NOTE IF PROPERTY IS A CORNER LOT

PROPERTY ADDRESS:

EXAMPLE SITE PLAN



Welcome to The City of Elroy Building Inspection Program

The inspection process will differ depending on the type of project planned. A discussion with the building inspector concerning construction timelines at the time of permit application is strongly suggested. The Wisconsin Uniform Dwelling code requires a response time of 2 business days from the time of the ordered inspection, or construction may move ahead. It is highly recommended to schedule the inspection 4 days prior and to coordinate with the general contractor or subcontractor on who will schedule the inspection.

The following are the types of inspections that would be required and can generally be considered to be in the order of their occurrence:

- 1) Erosion Control – this type of inspection would be required where there is an opportunity for soil to leave the property due to construction activity or ground disturbance. An inspection would verify that the erosion control is in place, properly installed, and matches the submitted plan. This inspection is highly critical on sloping lots and is subject to immediate stop work orders and/or fines if not in place.
- 2) Footing – this inspection applies to most projects where a new structure is placed. It is important to monitor weather situations that may interfere with timelines and result in short or unreasonable notice for the inspector.
- 3) Foundation and Drain tile - this inspection is typically not extremely time sensitive and can be performed in a larger window of opportunity.
- 4) Temporary Power - this inspection is required by the utility provider in order to get construction power to a new home construction sight. Again a request a day prior is needed.
- 5) Underground Building Drain – a visual inspection of the underground plumbing drain pipes and the required test of the system either being an air test or a water test. This is a time sensitive inspection and should be scheduled by the master plumber with advance notice.
- 6) Permanent Electrical Service - this inspection is required by the utility provider in order to get power to the permanently installed electrical panel. Be aware that there

may be a scheduling issue for the electrical provider. Call the service provider to check on line crew availability if time is of the essence.

- 7) Interior Drain Tile, Sump, and Under Floor Vapor Retarder – an inspection required before the concrete floor is poured. May or may not be time sensitive.
- 8) Concealed Plumbing Rough – this inspection would cover any newly installed piping and in most cases the inspection would require a water or air test of the system. Advance notice from the master plumber is needed.
- 9) Heating Rough – this inspection is required before building materials may cover the system. Generally not time sensitive. Reasonable advance notice is needed.
- 10) Concealed Electric Rough - this inspection is required before building materials may cover the system. Generally not time sensitive. Reasonable advance notice is needed.
- 11) Construction or Framing Rough – this inspection is usually performed after most framing modifications and stairs are completed prior to the addition of finish materials. Critical areas for the builder to be concerned with are proper bearing points, proper load path, and stair riser height to be in a maximum tolerance of 3/16 of an inch (take into account finished hardwood or tile surfaces at landings). Generally not time sensitive. Reasonable advance notice is needed.
- 12) Firestop, Ventilation, Insulation, and Vapor Retarder – prior to adding insulation materials it shall be necessary to protect the interior insulation space by already having a complete covering of exterior OSB or plywood sheathing with a weather resistant barrier such as Tyvek, Typar, or 15 pound felt paper. All exterior surfaces of these materials must be covered including attached garages and gable attic ends. Foam board that has taped joints and is prepared so as not to allow moisture to enter the insulation cavity would not need the weather resistant barrier.
- 13) Final Occupancy – this inspection would generally be the last inspection ordered and it may be scheduled prior to the addition of carpeting. It may be time sensitive depending on the need for immediate housing. This inspection is usually scheduled a week in advance assuring a smooth transition to actual occupancy and time to correct health or safety deficiencies.

This list does not attempt to address every situation but serves as a yardstick to plan for the inspection process. Having the contractor allow for a realistic

Directions

- 1) Please fill out the application making sure to provide all information that applies to your project.
- 2) You as the owner/applicant are responsible for complying with all appropriate statutes, administrative rules, and ordinances. If you are unsure of the requirements consult a building designer and/or the local building inspection agency for source material.
- 3) Any building addition, placement, or interior design alteration will require a floor plan sketch. Additions or building placements will require a site plan and possibly an Erosion Control plan if ground material poses an opportunity for run-off. A site plan requires a professional or clearly denoted drawing showing: (A) accurate distance to the property lines from the proposed project and distances to other buildings on the lot (if unsure of property lines consult a surveyor); (B) building showing square feet and percent of lot coverage; and (C) building elevation height of peak or tallest portion to finished grade.
- 4) Erosion control procedures are clearly outlined in Comm 21.125 of the Uniform Dwelling Code and at the appendix. If you are unfamiliar with the standards please request a copy of the code.

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS (Part of Ply 4 for Applicants)

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence of the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two-family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

City of Elroy				
Utility Connection Fee Schedule				
Chapter	Description	Fee	Comments	Amount Due
Water	Residential Hook-up ¾ to 1 inch copper service	Actual Cost		
Water	Commercial/Industrial Hook-up per connection	Pay estimate of cost of installation. Following Completion owner will be billed for remainder of cost or refunded the balance		
Sewer	Residential Hook-up per connection	\$650.00		
Sewer	Commercial/Industrial Hook-up per connection	\$650.00		
Electric	Temporary Service	All labor & materials to provide service		
Electric	Distribution Cost No meter/transformer cost	Cost of distribution extension minus the transformer & service		
			Total Due	
Note:	Water and or sewer service will be furnished only if premises have a frontage on a property platted street or public strip in which a main has been laid or where property owner has complied with provisions of the main extension rule.			

BUILDING A UDC HOME

Q. What are the typical steps in building, adding onto or altering a code-complying home?

A. The steps to be taken by an owner or builder can be summarized as follows. (Some steps may not apply to alterations or additions):

- Make initial contact with local zoning and building inspection departments to get an Energy Worksheet, Building Permit Application, zoning rules and other basic information. Determine if your alteration requires a permit or if you need your property surveyed.
- Design the home using standard design tables from the UDC or design a more customized home as long as it is demonstrated that the design meets the general engineering standards of the code. In addition to the UDC, the dwelling's design may also be subject to subdivision rules or restrictive covenants.
- Obtain sanitary or well permits from the county or municipality if the home will use a private sewage system or well.
- Obtain floodplain, zoning and land use approvals from the county and municipality having authority.
- Obtain driveway or other local permits.
- Obtain any necessary utility approvals.
- Submit complete plans including plot, erosion control, Foundation, floor layout(s), building cross-sections(s) and exterior building wall views (elevations); Energy Worksheet; Permit Application; fees and copies of the above permits to the municipal inspection department.
- Begin construction after plans are approved and building permit is issued and posted.
- Call for inspections of each phase of construction at least 2 business days prior to when work is to be covered up (check the local inspector's instructions). Inspectors will check for compliance with the code. Cosmetic or non-code workmanship items will not normally be ordered corrected. However, inspectors may also check that the approved plans are being followed, including items above the code minimums. Deviations from the original plans may require submittal of revised plans.
- Take occupancy after receiving a final inspection in which no health or safety violations are found. (Some municipalities will issue occupancy permits.) Also, the dwelling's exterior must be completed within two years after permit issuance.
- Correct any other code non-compliances, including stabilization by vegetation of any exposed soil.

Q. Who may do the work?

A. Following is a summary of applicable regulations:

- Anyone may design the home, other than for homes in a floodplain.
- The construction and erosion control permits must be taken out by a state-certified contractor or by the owner who occupies the home currently or after completion. Note that State UDC Contractor certification checks for general liability insurance only—it does not test the technical competency of the builder.
- The plumbing work must be supervised by a master plumber and installed by licensed plumbers. (Only after the dwelling is occupied, may an owner install additional plumbing beyond the pre-requisite kitchen sink and full bathroom, unless prohibited by municipal ordinance.)
- All heating contractors must be state-registered. Owners working on their own property are exempted.
- Municipalities may have additional licensing requirements as well as bonding or insurance requirements.
- In any case, we suggest that you:
- Check your contractors for proper liability and worker's compensation insurance to minimize your liability for injuries and damages to, or caused by, contractors.

- Check past customer references.
- Have a written contract.
- Obtain lien waivers from your subcontractors, so you are not financially responsible if your general contractor fails to pay them.

Q. What could happen if the code is not followed?

A. Failure to comply with the code could cause the following:

- Endangering the health and safety of self, family or guests.
- Levying of fines and/or refusal to grant occupancy permit by local building inspection department.
- Civil action by owners against builders.
- Difficulty in selling the home.
- Civil action by future owners or tenants against original owners or builders. (The average home is resold every 5 to 7 years.)
- Difficulty in obtaining mortgage loans or property insurance.
- Loss of building and community values.

Q. What if I am not able to exactly follow the Code?

A. If it would be difficult to comply with a particular code provision because of special site or design considerations, then you may submit a petition for variance with the required fees to the State. Your variance must show an equivalence to the code provision by different means. (Forms are available from your local building inspector or the Safety and Buildings Division.)

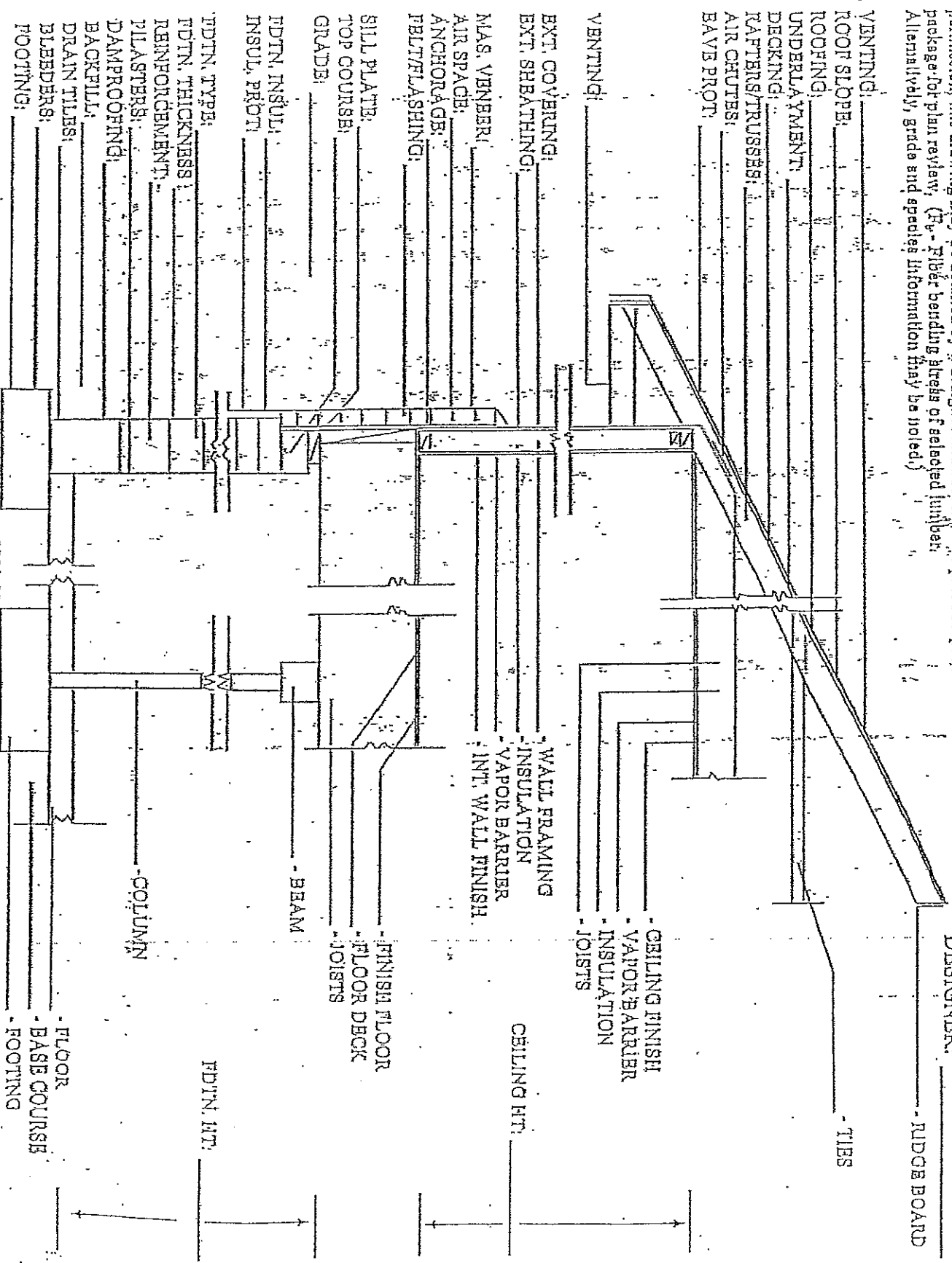
8. Tall bearing walls over 10 feet with 2x4 or 2x6 16" o.c. construction will need to be engineered or studs doubled up in many instances.
9. NO ONE SHALL OCCUPY A NEW SINGLE FAMILY DWELLING PRIOR TO A FINAL INSPECTION. OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO CALL FOR ALL INSPECTIONS. HEALTH AND SAFETY NON-COMPLIANCE VIOLATIONS THAT OWNER REFUSES TO CORRECT WILL BE FILED WITH THE REGISTER OF DEEDS.
10. In order to receive an occupancy certificate, all health and safety items related to the permit work shall be code compliant, (i.e., no occupancy will be given in the following situations: (a) decks or other elevated areas over 24" above grade without proper guardrail protection, (b) no handrail for 3 or more risers, (c) unsafe electrical conditions, etc., (d) missing or nonfunctioning smoke alarms, (e) non-complying stairs, (f) lack of a working kitchen and bathroom
11. All code violations that owners have not complied with for final occupancy requirements will be forwarded to the County Register of Deeds for recordation and subsequently forwarded on to the Department of Commerce for enforcement action.
12. Guardrails for permits pulled after January 1, 2005 shall have a minimum spacing of 4 inches between stiles.
13. Code information is available for construction, HVAC, plumbing, some Wis. requirements for electrical, and energy at www.commerce.state.wi.us Other standards adopted by reference are listed at Comm 20.24. The bulk of the electric code can be obtained by purchasing a copy of the currently used version of the National Electric Code. Electrical service entrance requirements may be obtained through your local energy provider.
14. If zoning ordinances are adopted it is the sole responsibility of the permit applicant and/or contractor to meet all requirements.
15. Be aware if you have little or no experience in any of the trades it will be extremely difficult to come up to speed on code compliance. The above-mentioned codes are not published as a "how to" book but are written in administrative legal format. It is highly recommended that you obtain professional help from experienced trades people.



NOTE:

Will proper detailing of building dimensions, material types, spans, sizes, spacing, etc., and properties, etc., and sketches of non-applicable details, this cross section would provide an acceptable plan drawing. With the local inspection authority's permission, this drawing may be detailed by a designer and submitted as part of a plan package for plan review. (For Fiber bending stress of selected lumber. Alternatively, grade and species information may be noted.)

OWNER: _____
 PROJ. LOC: _____
 DATE: _____
 DESIGNER: _____



VENTING: _____
 ROOF SLOPE: _____
 ROOFING: _____
 UNDERLAYMENT: _____
 DECKING: _____
 RAFTERS/TRUSSES: _____
 AIR CHUTES: _____
 BARGE PROF: _____

VENTING: _____
 EXT. COVERING: _____
 EXT. SHEATHING: _____
 MAS. VENEER: _____
 AIR SPACE: _____
 ANCHORS/GS: _____
 FELT/FLASHING: _____

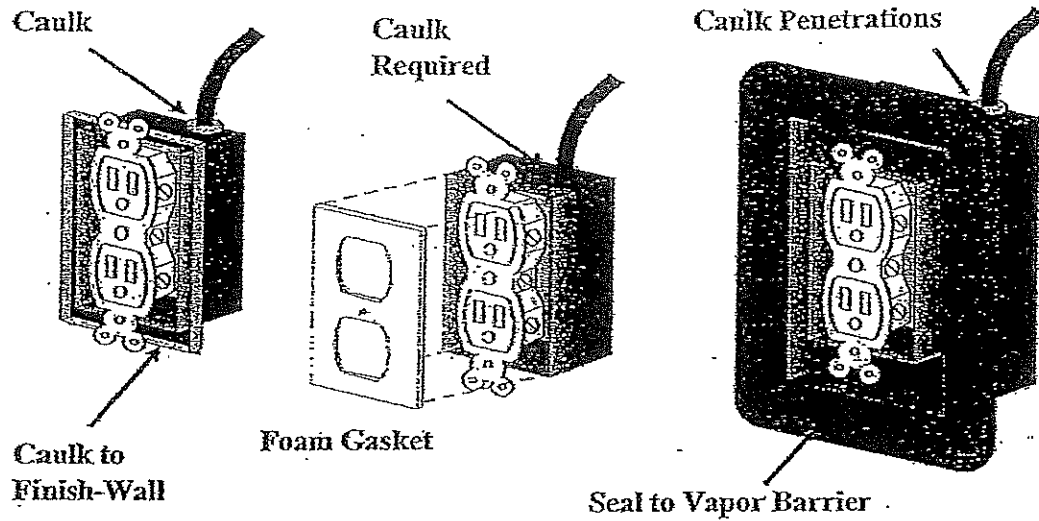
SILL PLATE: _____
 TOP COURSE: _____
 GRADE: _____
 TD/DTN. INSUL: _____
 INSUL. PROF: _____
 TD/DTN. TYPE: _____
 TD/DTN. THICKNESS: _____
 REINFORCEMENT: _____
 PLASTERS: _____
 DAMPROOFING: _____
 BACKFILL: _____
 DRAIN TILES: _____
 BLEEDERS: _____
 FOOTING: _____

WALL FRAMING: _____
 INSULATION: _____
 VAPOR BARRIER: _____
 INT. WALL FINISH: _____
 FINISH FLOOR: _____
 FLOOR DECK: _____
 JOISTS: _____
 BEAM: _____
 COLUMN: _____
 FLOOR: _____
 BASE COURSE: _____
 FOOTING: _____

CEILING FINISH: _____
 VAPOR BARRIER: _____
 INSULATION: _____
 JOISTS: _____
 CEILING HT: _____
 FDN. HT: _____

TIES: _____
 RIDGE BOARD: _____

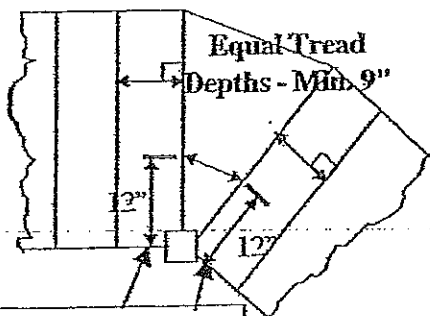
22.30(3) Requires sealing of electrical boxes and other penetrations of the insulated thermal envelope. The options include: 1) install a faceplate gasket that covers the gap between the box edge and wall, 2) caulk the box edge and seal all the box holes or 3) install a pan-type box behind the electrical box and seal the cable penetrations (see following diagrams). Also clarifies that crawl space and attic access panels shall be weatherstripped. (Sealing of electrically-heated dwellings is now the same as for non-electrically heated dwellings.)



21.04

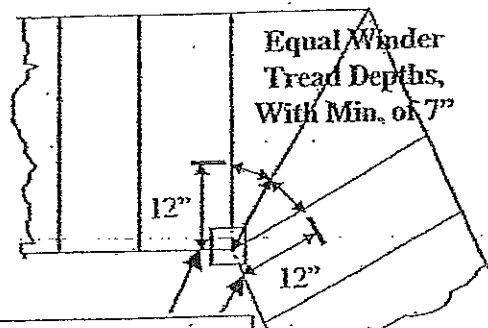
Commentary

SINGLE WINDER



Measure to nearest wall, skirt board or spindle

MULTIPLE WINDERS



Measure to nearest wall, skirt board or spindle

An approved form of winder treads for residential stairs

VEGETATIVE BARRIERS

Vegetative barriers may be used as a perimeter measure if disturbed areas above consist of slopes no greater than 6% and barriers are on a grade no steeper than 5%. Vegetative barriers are to be a minimum of 10' wide for every 50 feet of open ground draining to them. These barriers must be maintained, i.e. not driven on or destroyed. If the barriers become covered with silt or otherwise destroyed, additional perimeter measures may be required.

TEMPORARY STABILIZATION OR MULCH CROP

It is much easier to control erosion than to control sediment. Temporary stabilization helps to minimize erosion and therefore the need for long-term maintenance of silt fences and straw bales. Annual rye grass may be planted as a temporary cover between April 1 and September 15. If seeding is done in the spring or late summer seeding dates and slopes are 6% or less, mulch may not be necessary.

Winter rye may be planted between July 15 and October 15. These seedings should be mulched.

LATE SEASON CONSTRUCTION MULCHING/DORMANT SEEDING

If ground is broken after September 15, mulch should be applied as soon as a rough grade is established, unless final grade and landscaping is to be completed before the next growing season. Mulch will help to reduce the raindrop impact. Seeding should not be done between September 15 and November 1 as the weather is warm enough for the seed to germinate but it will not have an opportunity to establish a root system strong enough to survive the winter. A dormant seeding may be done OVER the mulch after November 1. These seedings are risky. A split application of seed may also be made, using half in November and balance early in spring.

WINTER CONSTRUCTION

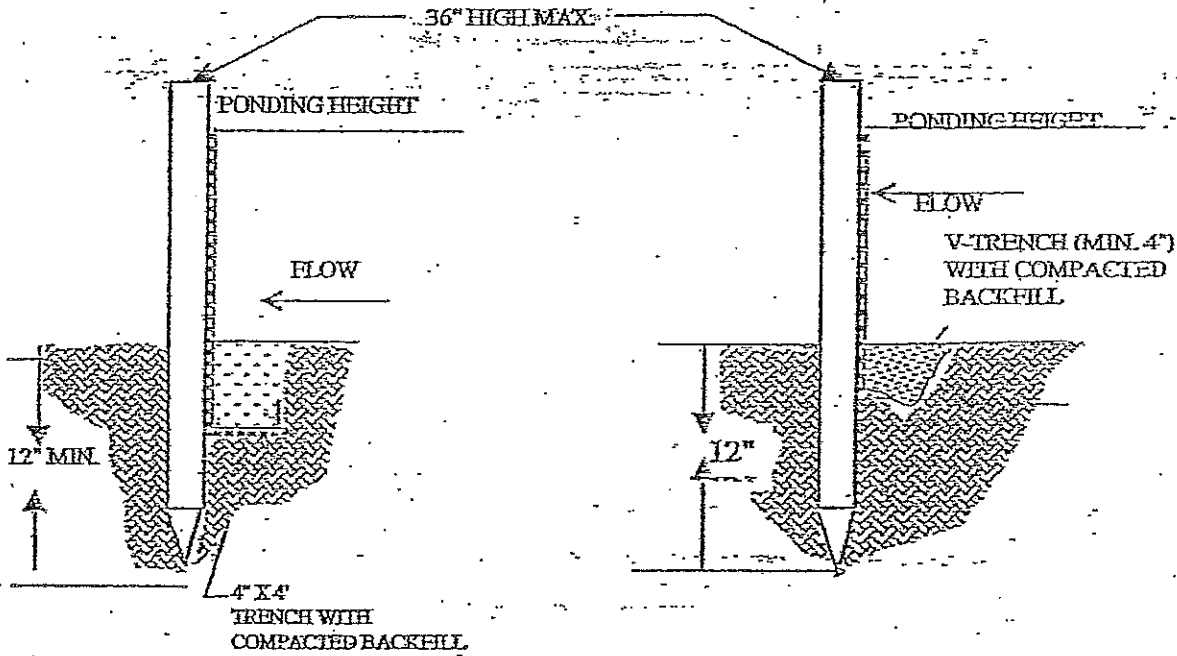
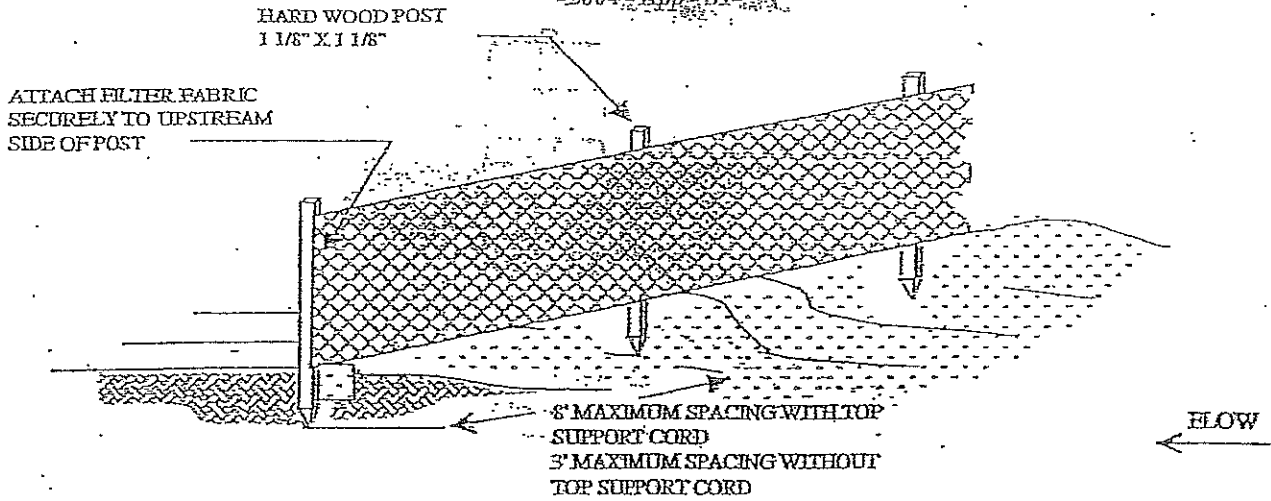
In areas with course soils, (sands) if excavation is possible most likely a trencher can be used to install the necessary silt fence. If at all possible leave the perimeter of the site undisturbed (this is assuming the site had vegetation present prior to frost); this may be the easiest erosion control for flat sites (6% or less).

In areas that have heavy soils, (clays) close attention should be paid to try to get perimeter measures installed prior to frost penetrating greater than 6". If ground is solidly frozen, perimeter measures that need to be trenched may have to wait to be installed when the frost first starts to come out in the spring. This does not eliminate the need to keep sediment from leaving the site. Alternate methods for controlling erosion should be considered such as the use of soil stabilizers.

MAINTENANCE OF THE MOST COMMONLY USED EROSION CONTROL PROCEDURES.

SILT FENCES

Repair or replacement should be done within 24 hours if fencing is torn, sagging, overtopped, blown over (laying down), shows a lack of integrity, or in any way is not functioning as designed. Sediment deposits should be removed after each storm event. Sediment deposits shall be removed when deposits reach 0.5 the above ground height of the fence. Silt fence should be removed after upland areas have been stabilized. Any sediment deposits remaining in place after the silt fence is no longer required should be dressed to conform to the existing grade, prepared and stabilized.

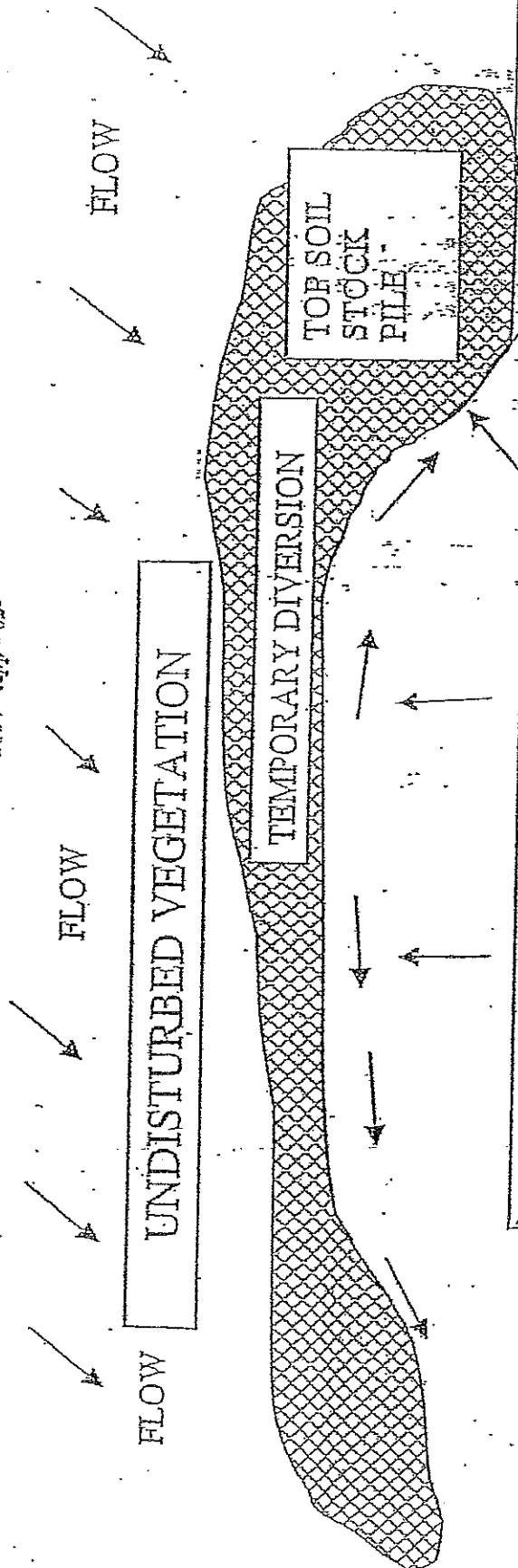


NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. THE ENDS OF THE FENCE SHALL BE TURNED UPSLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS OF THE FENCE.
3. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY (9" MAXIMUM RECOMMENDED STORAGE HEIGHT)
4. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

NOT TO SCALE

FIG. E - 1
SILT FENCE



TOPSOIL STOCK PILE - USED TO CREATE A DIVERSION (SEED & MULCH)

TEMP. BACKFILL STOCK PILES

***** SILT FENCE

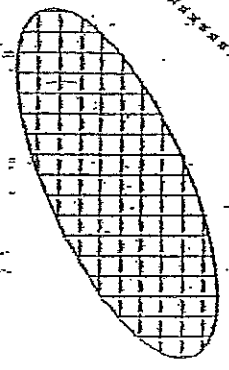
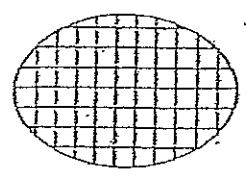
NOT TO SCALE

FIG. B-12

PLOT PLAN FOR SIMPLE SLOPES

ALL SLOPES LESS THAN 12%.

ROCK CONST. DRIVE



(b) Structural elements exposed in an attached garage. Beams, columns and bearing walls which are exposed to the garage and which provide support for habitable portions of the dwelling shall be protected by one of the methods specified in par. (a) 1. a. or c. or other ¾ hour fire-resistive protection.

(c) Doors. The door and frame assembly between the dwelling unit and an attached garage shall be labeled by an independent testing agency as having a minimum fire-resistive rating of 20 minutes. The test to determine the 20-minute rating is not required to include the hose stream portion of the test.

Note: Acceptable tests for fire rating of door assemblies include ASTM E-152, UL 10B, and NFPA 252.

(d) Other openings. 1. Access openings in fire separation walls or ceilings shall maintain the required separation and shall have any drywall edges protected from physical damage.

2. The cover or door of the access opening shall be permanently installed with hardware that will maintain it in the closed position when not in use.

Fire Separation

Question: *It has been common practice to have a 6- to 8-inch step between a garage and the house. Is this no longer a requirement in the Uniform Dwelling Code?*

Answer: *The step requirement has never been a rule in the Uniform Dwelling Code. That requirement appears to be one that had been established in local ordinances. We are unable to find any national building code which has any requirement relating to a difference in elevation between a garage floor and the interior of the dwelling. Builders who are concerned with handicap accessibility are promoting same height floor levels.*

The Uniform Dwelling Code, however, does provide safety for the occupants of a dwelling with an attached garage in a number of alternate ways. The main requirement is that of a 45-minute fire separation as outlined in s. Comm 21.08. The dwelling code also requires, under s. Comm 21.08(2), that the floor of the garage slope toward the exterior. These two requirements, along with the requirement of s. Comm 21.09 requiring smoke detectors, are deemed to provide adequate protection for the occupants.

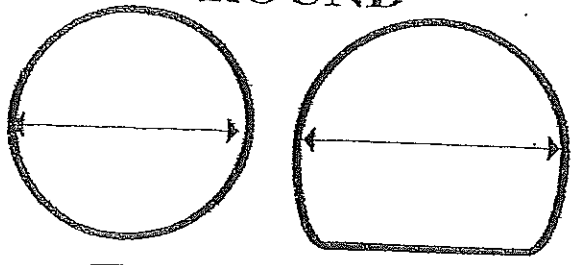
Question: *Is it acceptable for an attic access opening to be located in the fire separation wall or ceiling?*

Answer: *Yes, if the opening cover or door is constructed such that:*

- The 45-minute rating is maintained.

21.04(2)(a)5. HANDRAIL SHAPES

ROUND



MAXIMUM 2" DIAMETER

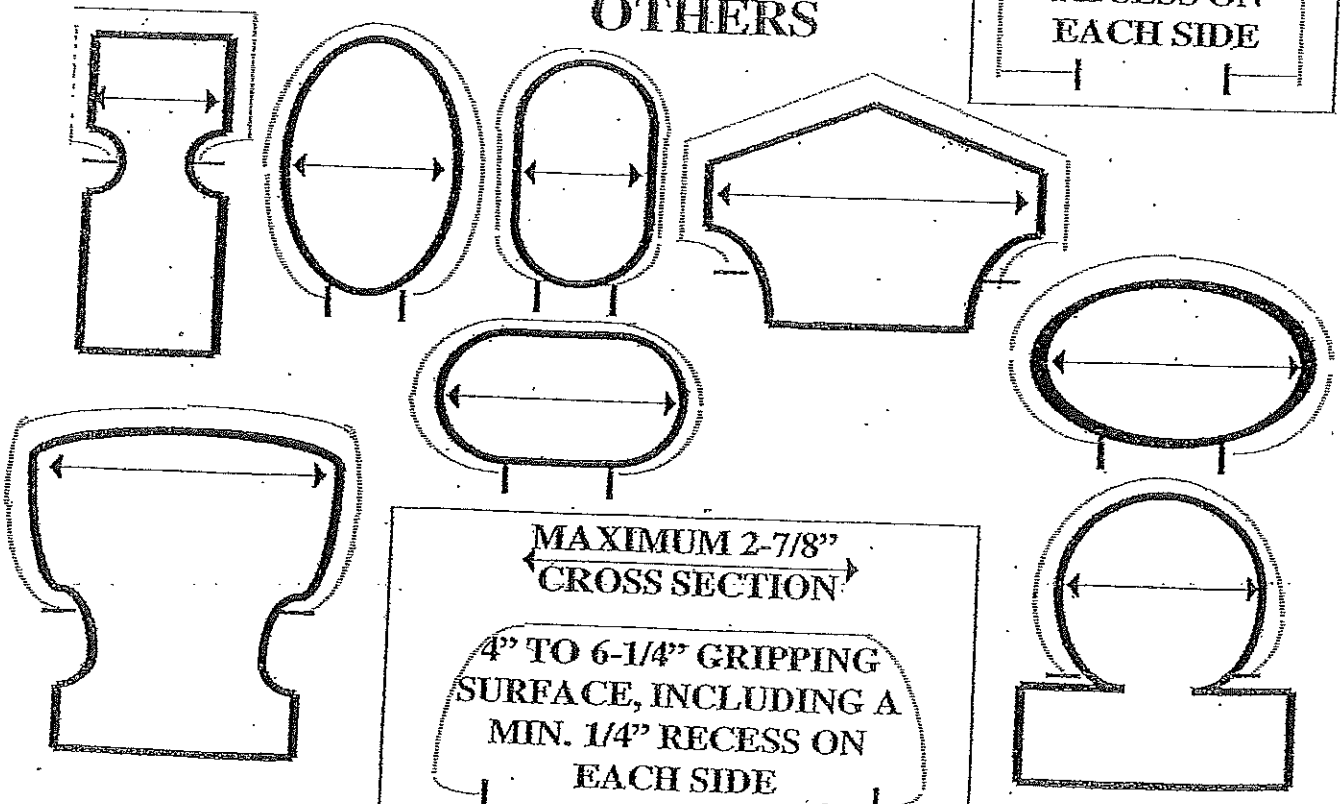
RECTANGULAR

OK (w x ht):
 1/2" x 2-5/8"
 3/4" x 2-1/2"
 1" x 2-3/8"
 1-1/8" x 2-5/16"
 1-1/2" x 2-1/8"
 1-7/8" x 1-15/16"

OK (w x ht):
 2" x 1-7/8"
 2-1/2" x 1-5/8"
 2-3/4" x 1-1/2"
 2-7/8" x 1/2" TO 1-7/16"

MAXIMUM 2-7/8" CROSS SECTION
MAX. 6-1/4" GRIPPING SURFACE INCL. MIN. 1/4" RECESS ON EACH SIDE

OTHERS



MAXIMUM 2-7/8" CROSS SECTION
4" TO 6-1/4" GRIPPING SURFACE, INCLUDING A MIN. 1/4" RECESS ON EACH SIDE

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence of the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two-family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Owner's Signature: _____ Date: _____

CITY OF ELROY

Application for Electric Service

State of Wisconsin
City of Elroy
Town of _____

Address _____
Date _____

I _____, hereby make
application for Electric Service on the premises owned
by _____ located in
the City of Elroy, Town of _____.

The address _____.

Type of Service:
1-Phase Service _____ Amps _____ Volts
3-Phase Service _____ Amps _____ Volts

Service requested by (date) _____.

If special equipment is needed, time will be needed to
receive same.

IMPORTANT: Application must be filled in completely and
filed with the Electric Department, City of Elroy.

APPLICATION FOR SEWER SERVICE

As per Ordinance #312 Chapter 2, Section 5-2-15 A & B

Property Owner Name: _____

Property Owner Address: _____

Property Owner Telephone Number: _____

Applicant Name: _____

Type of Waste: _____

Proposed Date of Connection: _____

Contractor's Name: _____

Contractor's Address: _____

Contractor's Telephone Number: _____

Connection Fee Cost: _____

Date of Payment: _____

- Payment must be made in full before work is started.

Applicants Signature: _____

City Representative/Utility Clerk Signature: _____

Estimate Work Sheet for Commercial Water Lateral Installation

Customer needs to fill out questions 1-8 completely.

1. Date: _____

2. Name of Applicant: _____

3. Address and Legal Description of property: _____

4. Exact use of service: _____

5. Any special flow considerations (fire protection, refrigeration, etc.): _____

6. Size of service requested: _____

7. Size of meter requested: _____

8. Signature: _____

Feet of service line: _____

Type and cost of pipe per fit: _____

Tapping cost: _____

Road restoration: _____

Fittings and Misc.: _____

Labor: _____

Total estimated cost: \$ _____

Estimated by: _____

- All work must be paid in full before work is started.

**APPLICATION FOR NEW RESIDENTIAL WATER LATERAL
CITY OF ELROY WATER UTILITY DEPARTMENT**

Please print and answer all questions completely.
Allow up to 10 days to process your application.

Date _____

Name of Applicant: _____

Address and Legal
Description of Property: _____

Exact use of Service: _____

Any Special Flow Considerations
(Fire Protection, Refrigeration, Etc.): _____

Size of Service Requested: _____

Service will be furnished only if (1) premises have a frontage on a properly platted street or public strip in which water main has been laid or where property owner has complied with provisions of the main extension rule. (2) Property owner agrees to install a service pipe from curb line to point of use and have adequate piping beyond metering point.

Laterals will be paid in full before installation. Laterals larger than (1) inch will be estimated by the utility with payment due in advance. Following completion, owner will be billed for remainder of cost or be refunded the over payment.

Water Lateral Installation Charge, PSC Schedule Number Cz-1

Actual cost of installing a water service lateral from the main through the curb stop and box.

Signature of Applicant

For Office Use Only

Amount Paid \$ _____

If Large Service, estimate cost and by whom \$ _____

City of Elroy				
Utility Connection Fee Schedule				
Chapter	Description	Fee	Comments	Amount Due
Water	Residential Hook-up ¾ to 1 inch copper service	Actual Cost		
Water	Commercial/Industrial Hook-up per connection	Pay estimate of cost of installation. Following Completion owner will be billed for remainder of cost or refunded the balance		
Sewer	Residential Hook-up per connection	\$650.00		
Sewer	Commercial/Industrial Hook-up per connection	\$650.00		
Electric	Temporary Service	All labor & materials to provide service		
Electric	Distribution Cost No meter/transformer cost	Cost of distribution extension minus the transformer & service		
			Total Due	
Note:	Water and or sewer service will be furnished only if premises have a frontage on a property platted street or public strip in which a main has been laid or where property owner has complied with provisions of the main extension rule.			

City of Elroy Municipal Utilities
1717 Omaha Street
Elroy, WI 53929

Phone: (608) 462-2400 FAX: (608) 462-2404

APPLICATION FOR SERVICE FOR RESIDENTIAL CUSTOMERS

Section 1-New Applicant Information

Full Legal Name		Last	First	MI	Social Security Number
Employer/School			Drivers License Number/ Please provide photo ID to verify identity		
Date of Birth (mm/dd/yyyy)		Contact Phone ()		Work Phone ()	
		(Do you receive text messages) Yes <input type="checkbox"/> No <input type="checkbox"/>			
Spouse <input type="checkbox"/> Roommate <input type="checkbox"/>	Spouse/Roommate Name		Last	First	MI
	Contact Phone ()			Employer/School	
	Names & Ages of all other people residing at this residence				

Section 2-Previous Address of Applicant

Does City of Elroy utility service need to be turned off at a previous address? Yes <input type="checkbox"/> No <input type="checkbox"/>		If yes, date service needs to be turned off
Previous Address		Apt. Number
City	State	Zip

Section 3- New Service Address Information

Date Service Starts		
New Service Address		Apt. Number
City	State	Zip
Mailing Address (If different than service address)		

Section 4- Property Owner and/or Management Company Information

Property Owner Information	Is this property being purchased on land contract? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	Owner Name	Contact Phone ()
	Address	City State Zip
Land Contract Information	Seller's Name	
	Contact Phone ()	
	Address City State Zip	
Management Company Information	Management Company Name	
	Contact Phone ()	
	Address City State Zip	
Contact Person		

Applicant's signature _____ Date _____

Spouse/Roommate signature _____ Date _____

**** I understand that I am responsible for the utilities at the service address from the date of application until I notify the**